



WARREN COUNTY – STATE OF NEW YORK
 PAMELA J. VOGEL, COUNTY CLERK
 1340 STATE ROUTE 9,
 LAKE GEORGE, NEW YORK 12845

COUNTY CLERK'S RECORDING PAGE

THIS PAGE IS PART OF THE DOCUMENT – DO NOT DETACH



BOOK/PAGE: 6074 / 297
 INSTRUMENT #: 2020-1203

Receipt#: 2020515763
 Clerk: LB
 Rec Date: 02/24/2020 10:21:35 AM
 Doc Grp: RP
 Descrip: DEED
 Num Pgs: 4
 Rec'd Frm: ROBERT F COHEN ESQ

Party1: PAEGLOW CHRISTINE
 Party2: BARR CHRISTOPHER L
 Town: LAKE GEORGE

Recording:

Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00

Sub Total: 190.00

Transfer Tax
 Transfer Tax - State 2240.00

Sub Total: 2240.00

Total: 2430.00

**** NOTICE: THIS IS NOT A BILL ****

***** Transfer Tax *****

Transfer Tax #: 1737
 Transfer Tax
 Consideration: 560000.00

Transfer Tax - State 2240.00

Total: 2240.00

WARNING***

*** Information may be amended during the verification process, and may not be reflected on this cover page.

I hereby certify that the within and foregoing was recorded in the Warren County Clerk's Office, State of New York.

This sheet constitutes the Clerks endorsement required by Section 316 of the Real Property Law of the State of New York.

Record and Return To:

ROBERT F COHEN ESQ
 580 BROAD STREET
 BRISTOL CT 06010

Pamela J. Vogel
 Warren County Clerk

3/4
LQ
560,000-
60
125
2240

WARRANTY DEED WITH LIEN COVENANT

DATE OF DEED: August 28, 2019

GRANTOR: **CHRISTINE PAEGLOW**
177 Missionary Acres
Newport, VT 05855

GRANTEES: **CHRISTOPHER L. BARR**
190 Seneca Road
Bristol, CT 06010-7183

THIS WARRANTY DEED made between Grantor and Grantee on the deed date stated above WITNESSES THAT GRANTOR in consideration of

-----One Dollar (\$1.00)-----

lawful money of the United States and other good and valuable consideration, paid by Grantee,

DOES HEREBY GRANT AND RELEASE UNTO GRANTEE and his assigns forever all that property located at:

7 Washington Avenue
Town of Lake George
County of Warren
State of New York
TAX MAP #251.20-1-40

(THE PROPERTY IS DESCRIBED MORE FULLY IN)
SCHEDULE "A" ATTACHED

THIS GRANT IS MADE:

TOGETHER with the appurtenances and all the estate and rights of the Grantor in and to said premises.

TO HAVE AND TO HOLD the premises granted by this Warranty Deed unto the Grantee and his assigns forever.

AND THE GRANTOR COVENANTS as follows:

FIRST: That Grantee shall QUIETLY ENJOY said premises;

SECOND: That Grantor will forever WARRANT the title to said premises;

THIRD: THAT, IN COMPLIANCE WITH SECTION 13 OF THE LIEN LAW, Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

If there are more than one Grantor or Grantee, the words "Grantor" and "Grantee" used in this deed includes them.

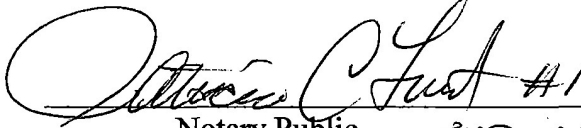
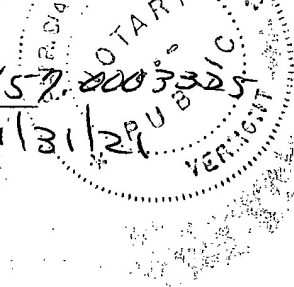
IN WITNESS OF THIS CONVEYANCE, Grantor has executed this WARRANTY DEED on the deed date stated above.

IN PRESENCE OF


CHRISTINE PAEGLOW

STATE OF)
): ss.:
COUNTY OF)

On the 28th day of August, 2019 before me, the undersigned, a Notary Public in and for said State, personally appeared **CHRISTINE PAEGLOW**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her capacity, and that by his/her signature on the instrument, the individual(s), or the person(s) upon behalf of which the individual acted, executed the instrument.


Notary Public **#157-0003325**
exp 01/31/21


SCHEDULE A

ALL THAT CERTAIN TRACT OF PARCEL OF LAND situate, lying and being in the Town of Lake George, County of Warren and State of New York, more particularly bounded and described as follows:

BEGINNING at point on the southerly side of a crushed stone road known as Washington Street, same being the northeast corner of the within described parcel; running from thence South $32^{\circ} 45' 45''$ West, 100 feet to an iron pipe found; thence continuing along the same course 131.07 feet to an iron rod set for a corner; running thence North $57^{\circ} 15' 36''$ West, 89.56 feet to an iron rod set for a corner; running thence North $32^{\circ} 3' 52''$ East, 130;72 feet to an iron rod found for a corner; running thence North $57^{\circ} 18' 58''$ West, 59.45 feet to an iron rod set for a corner; running thence North $32^{\circ} 28' 03''$ East, 80.04 feet to an iron rod set for a corner; running thence South $57^{\circ} 24' 56''$ East, 149.34 feet to the point or place of beginning, containing .61 acres of land, be the same more or less.

SUBJECT to easements, restrictions and any other matters of record.

BEING the same premises conveyed by Edmund F. Tomac III, as Executor of the Last Will and Testament of Edmund F. Tomac Jr. to Christine Paeglow by deed dated October 10, 2014 and recorded in the Warren County Clerk's Office on October 24, 2014 in Book 5060 at page 183.

R&R:

Robert F. Cohen, Esq.
580 Broad Street
Bristol, CT 06010